

CITY OF OVERLAND PARK PLANNING AND DEVELOPMENT SERVICES

INTRACITY COMMUNICATION

February 13, 2020

Rhonda Clark – SPS

**SUBDIVISION NAME – MISSION RANCH SOUTH 1ST PLAT
PIP2018-00013**

NOTE: Building Permits will not be issued until the applicant produces a Sanitary Sewer Connection Permit from Johnson County Wastewater.

SWALE GRADING

The following lots include, or are adjacent to engineered swales designed for purposes of stormwater conveyance. An engineered plot plan is required for these lots in conformance with City requirements.

Minimum Low Openings must be a minimum of 1 foot above the 100-year storm energy grade line as measured perpendicular to the swale.

<u>LOT</u>	<u>SWALE</u>	<u>EGL DEPTH (FEET)</u>
6	A-A	0.62
10	H-H	1.02
11	H-H	1.02
12	H-H	1.02
14	G-G	1.22
15	F-F	0.61
16	F-F	0.61
16	E-E	1.90
17	D-D	1.95
18	D-D	1.95
18	C-C	1.92
19	C-C	1.92
21	B-B	1.92
22	B-B	1.92

BERM GRADING

The following lots include berms designed to direct stormwater runoff. An engineered plot plan is required for these lots that show preserving or constructing berms as shown on the subdivision as-built grading plan.

LOT

17
18
19

FOUNDATION INVESTIGATION

The following lots are constructed over areas that require special foundation designs to minimize potential for geotechnical related problems. The foundation investigation must be submitted and approved prior to a footing inspection. An Engineered plot plan is NOT required for this condition.

LOT

CONDITION

22

Existing drainageway

LOT GRADING

The following lots require specific grading to ensure proper drainage paths between lots. An engineered plot plan is required for these lots which show the drainage paths based upon grading specified by the Engineer.

Lot

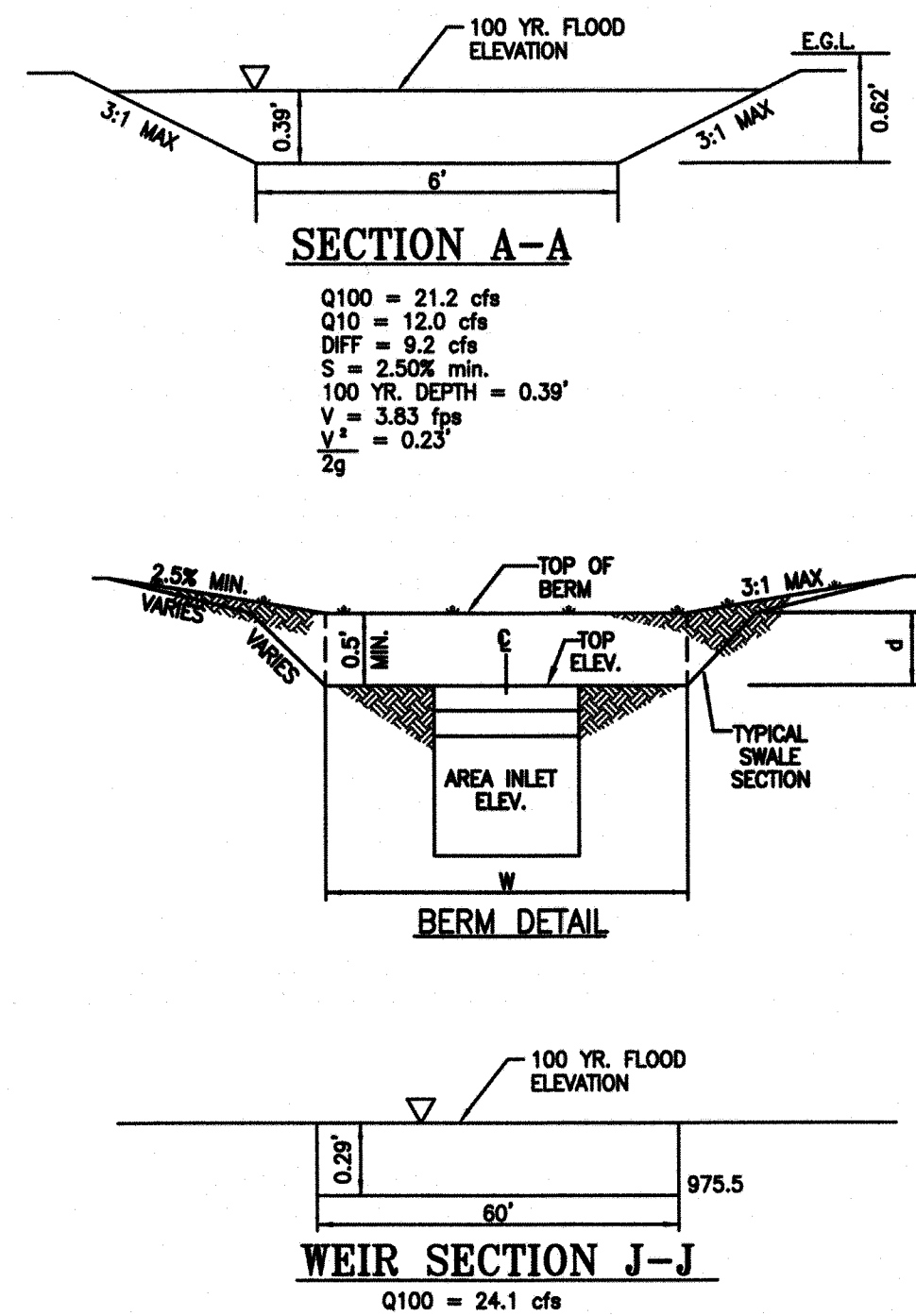
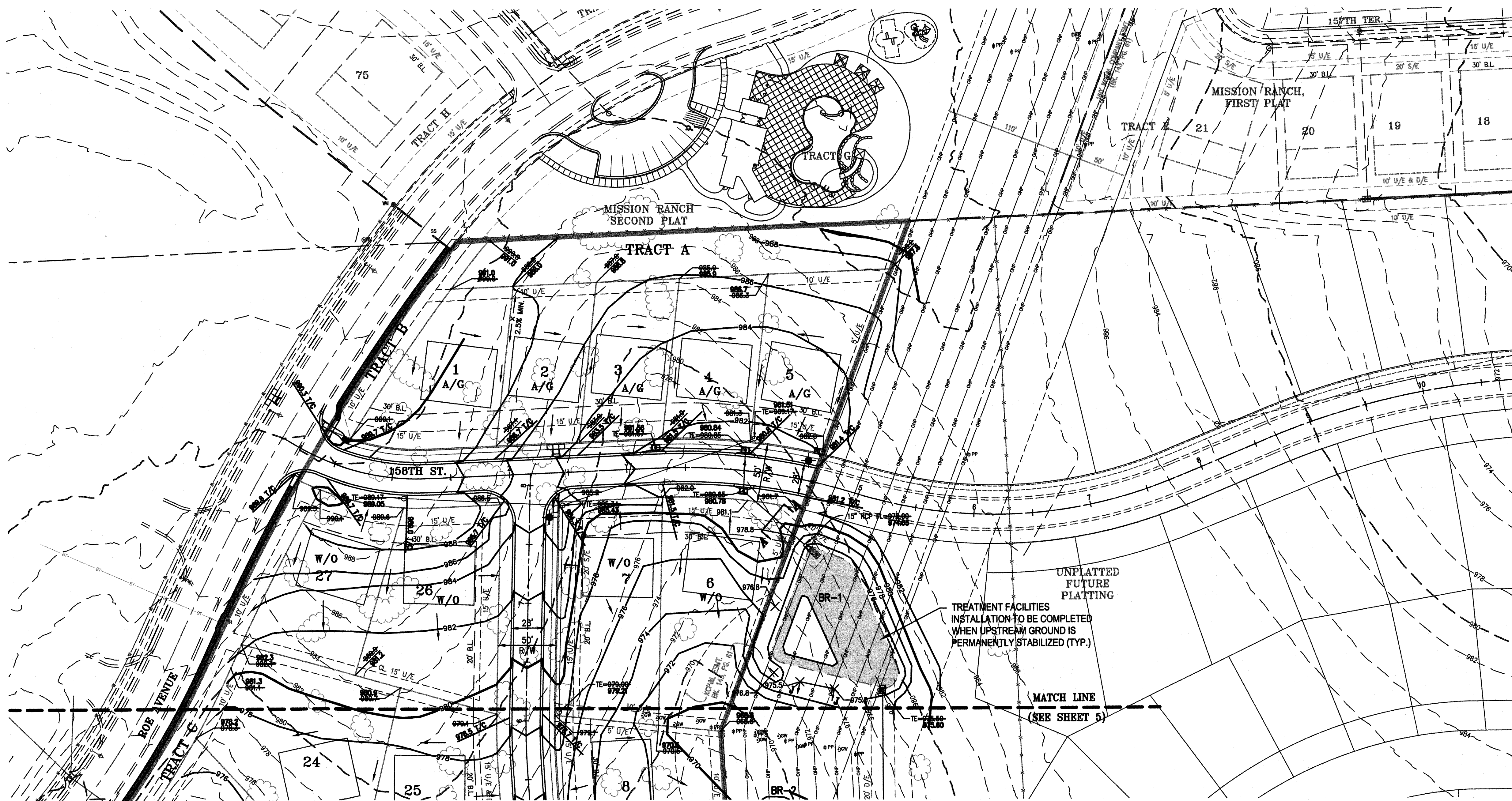
1
2

Mission Ranch South 1st Plat
February 13, 2020
Page 3

If you have any questions, please contact me.

Stephanie Byard
Senior Planning Technician

c: Tim Tucker, Phelps Engineering - Design Engineer
Tony Meyers, P.E - Engineering Services Review Engineer
Brandon Melius, Inspector
Mission Road Partners, LLC - Developer
Jeff Hunt, Public Works Maintenance
Irina Idelson, Public Works Senior Engineering Technician
Permit Services
Meg Ralph - City website
Subdivision Flood File



EARTHWORK COMPUTATIONS BY PHELPS ENGINEERING, INC. ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE VERIFIED BY CONTRACTORS BY THEIR CHOSEN METHOD PRIOR TO PLACING BID. ALL EARTHWORK SHALL BE CONSIDERED UNCLASSIFIED. 15% WAS ADDED INTO RAW EMBANKMENT QUANTITY TO ACCOUNT FOR SHRINKAGE.

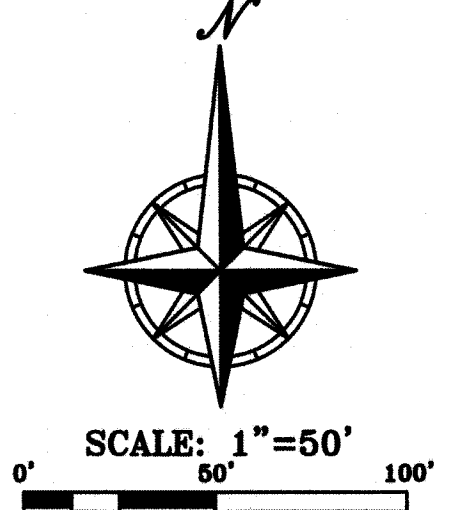
RAW EXCAVATION: +13,340 C.Y.
RAW EMBANKMENT (LOOSE): -31,895 C.Y.
STREET PAVEMENT ADJUSTMENT: +975 C.Y.
NET (CUT/FILL) -17,660 C.Y.

NOTE: COORDINATE WITH ENGINEER FOR SITE BALANCING PROCESS.

NOTE: ROCK EXCAVATION SHALL BE CONSIDERED A SUBSIDIARY BID ITEM TO EARTHWORK

NOTE: "AS-BUILT" GRADING PLANS MUST BE SUBMITTED PRIOR TO ISSUANCE OF BUILDING PERMITS.

LEGEND
A/G - AT GRADE
D/L - DAYLIGHT
W/O - WALKOUT
F W/O - FORCED WALKOUT



"AS-BUILT"
DATED: 1/7/20 BY: MAM

ENGINEERING PERMITS DIVISION	
Planning and Development Services Department	
City of Overland Park, Kansas	
Date:	1/16/20
Reviewed By:	SMB
APPROVED	APPROVED
REJECTED	REJECTED

PHelps ENGINEERING, INC.
3370 N. Winchester
Overland Park, Kansas 66151
(913) 393-1155
Fax (913) 393-1166
www.phelpsengineering.com

PLANNING
ENGINEERING
IMPLEMENTATION

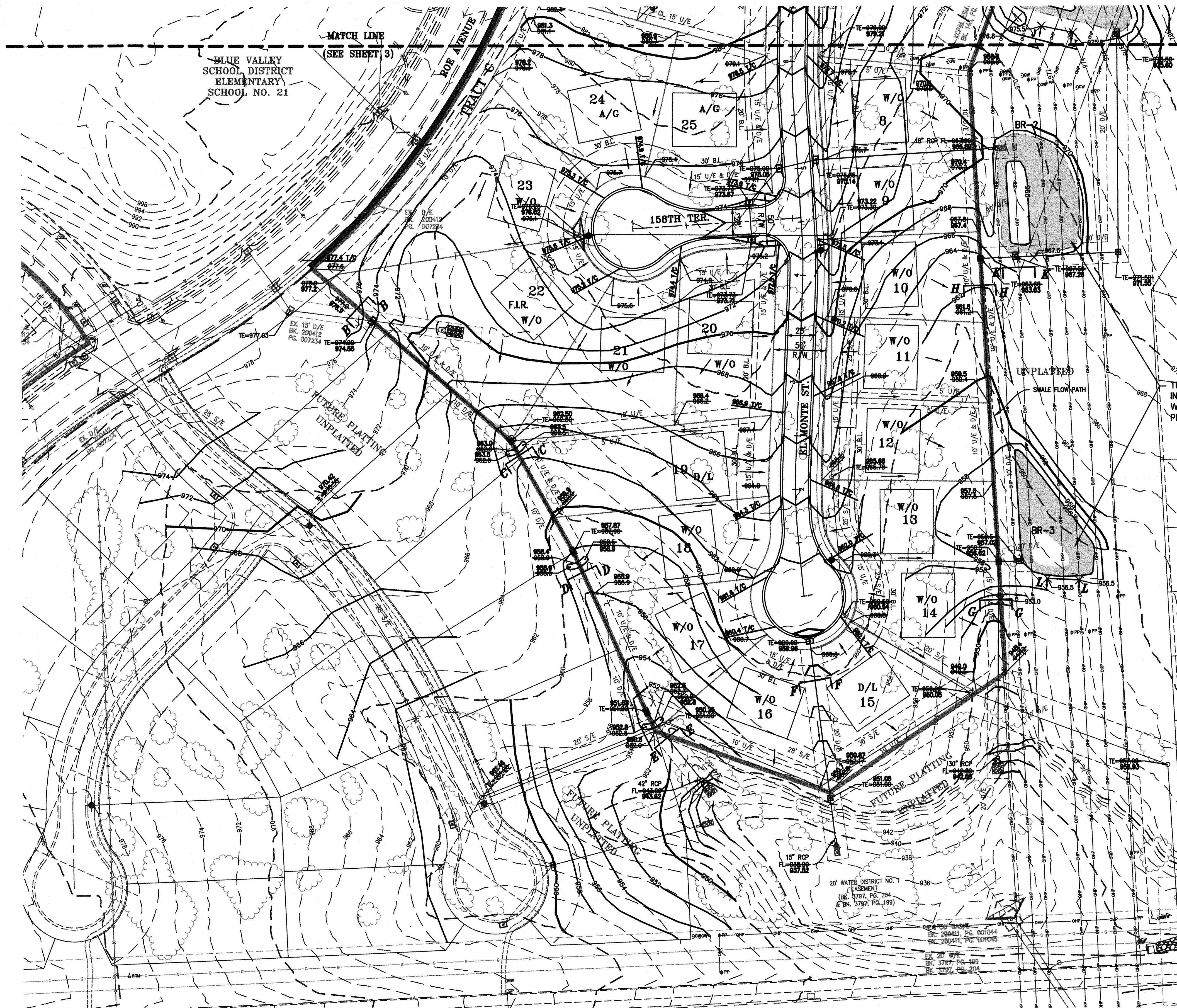
PF

GRADING PLAN
MISSION RANCH SOUTH, FIRST PLAT
OVERLAND PARK, KANSAS

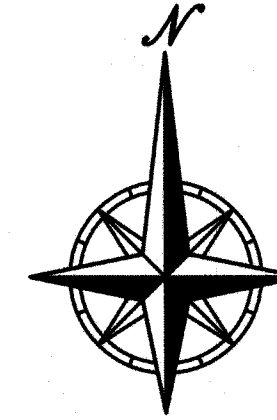
PROJECT NO.	DATE	NO.	BY	DATE	REVISIONS	
					REVISED PER CITY COMMENTS	REVISED PER CITY COMMENTS
171140	1/16/20	1	MAM	1/16/20		
171140	1/16/20	2	MAM	1/16/20		
171140	1/16/20	3	MAM	1/16/20		

SHEET
3
OF 42

JAN 14 2020



LEGEND
 A/G - AT GRADE
 D/L - DAYLIGHT
 W/O - WALKOUT
 F W/O - FORCED WALKOUT



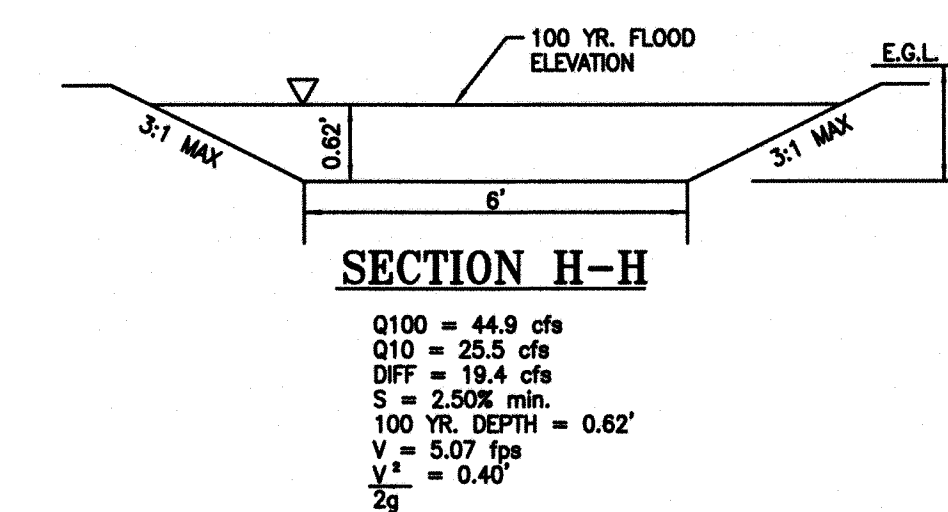
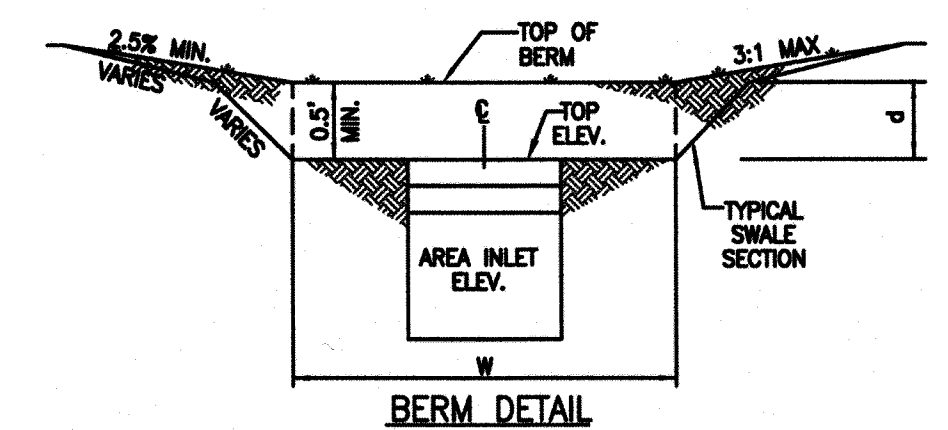
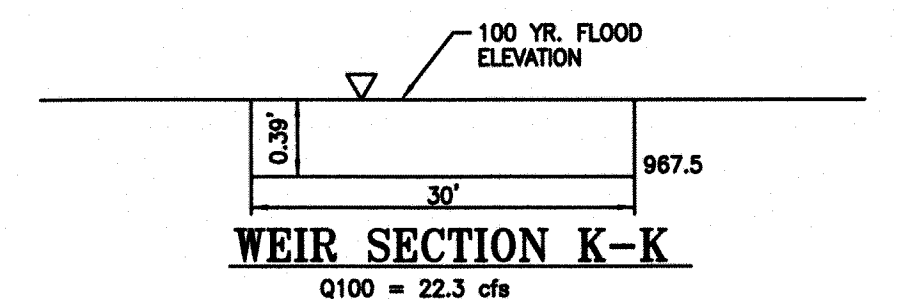
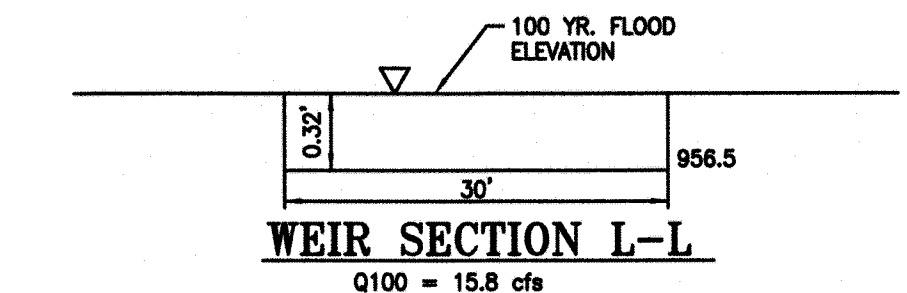
SCALE: 1"=50'
 0' 50' 100'

"AS-BUILT"

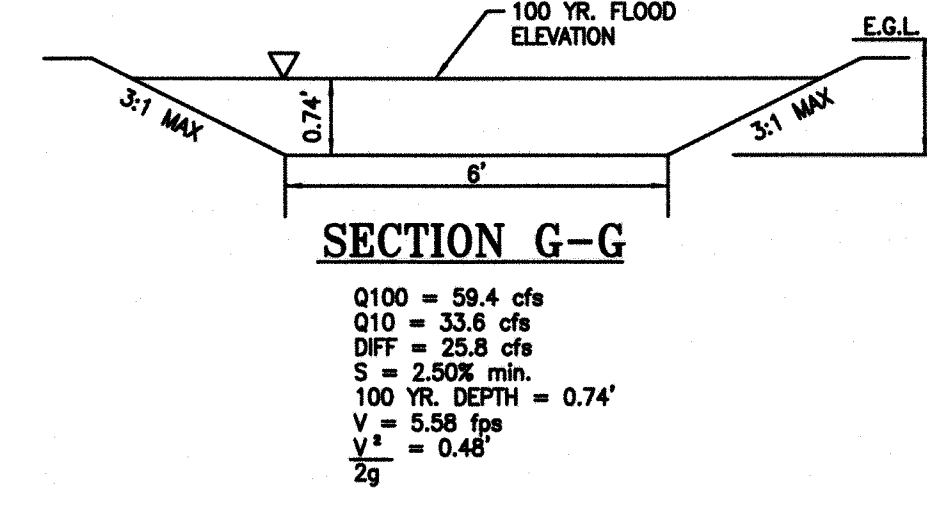
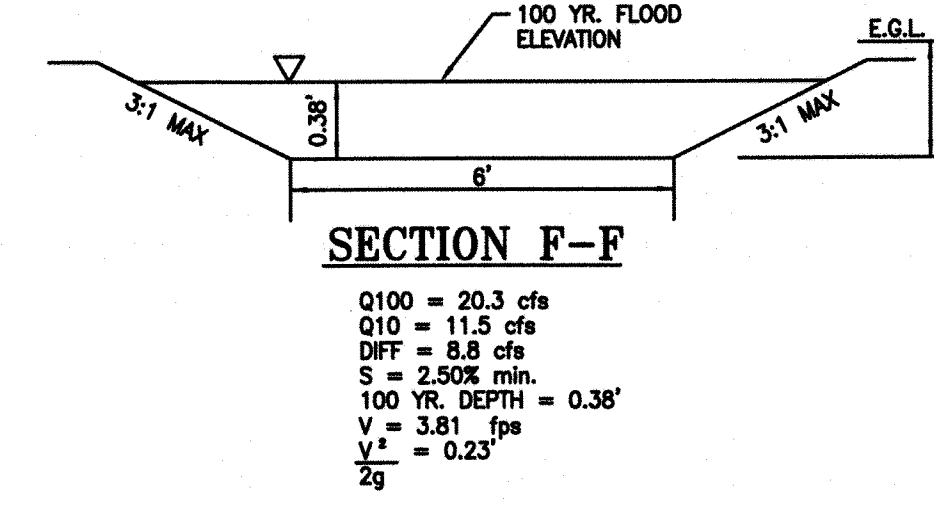
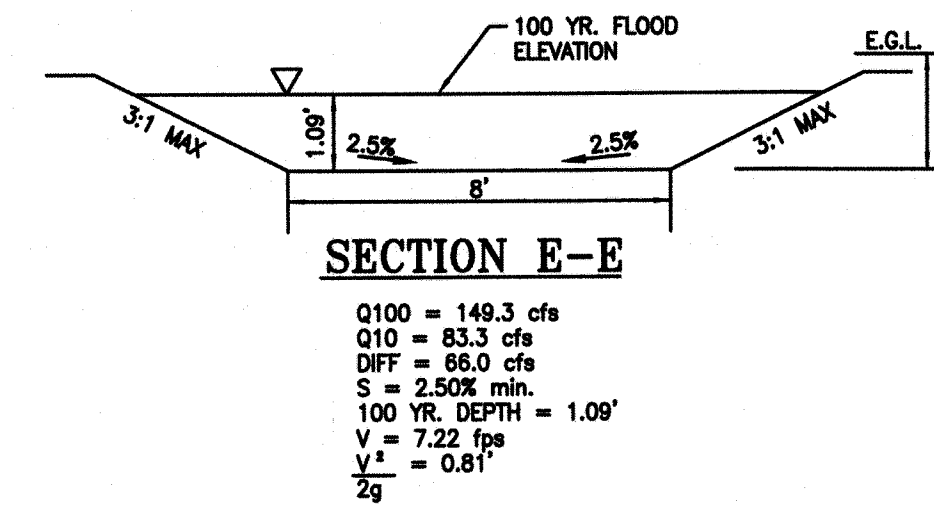
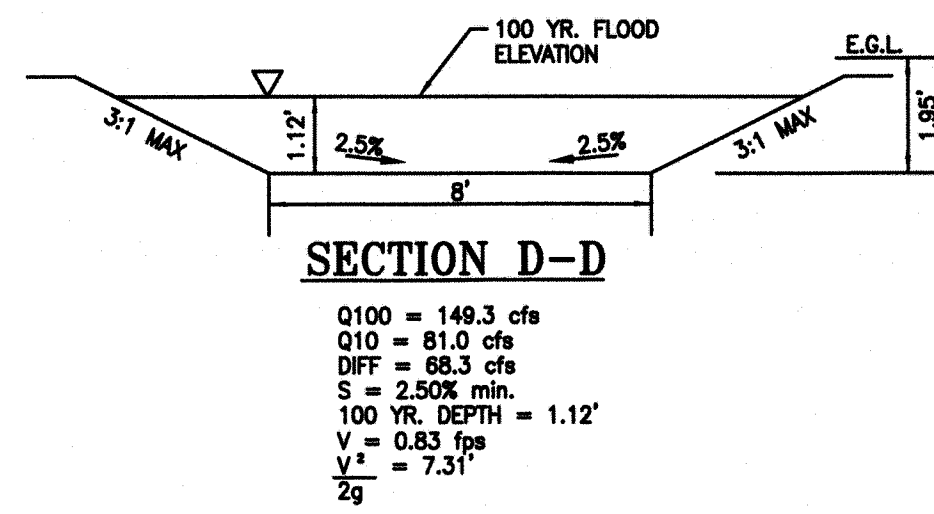
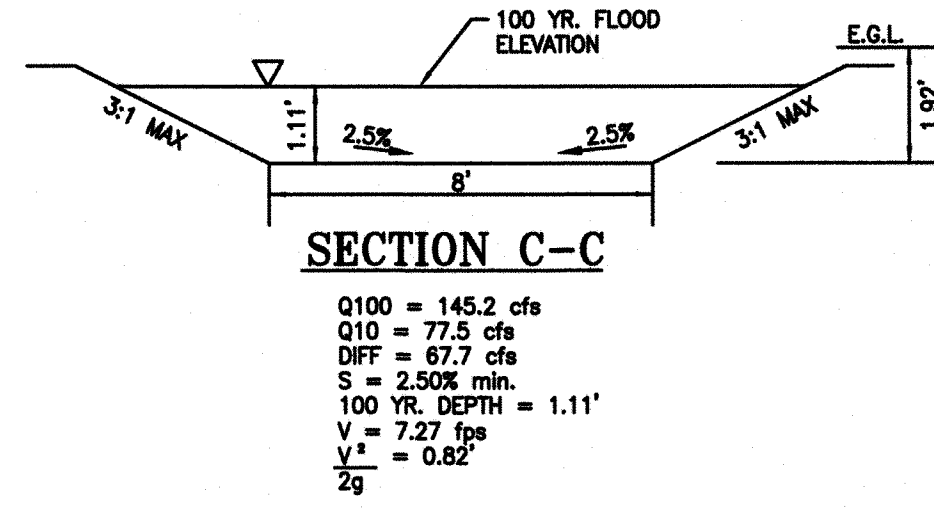
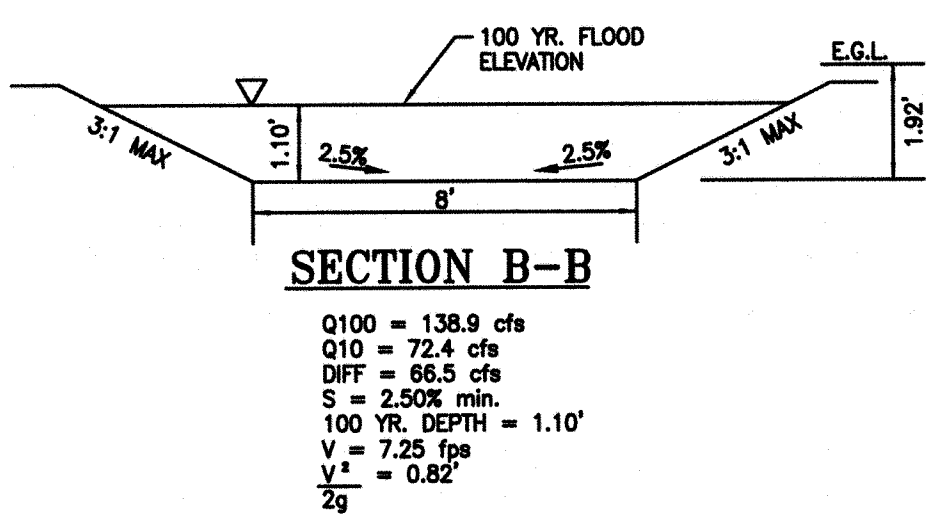
DATED: 1/7/20 BY: MAM

TREATMENT FACILITIES
 INSTALLATION TO BE COMPLETED
 WHEN UPSTREAM GROUND IS
 PERMANENTLY STABILIZED (TYP.)

FOUNDATION INVESTIGATION REQUIRED:
 LOTS DESIGNATED F.I.R. MEET THE CHARACTERISTICS
 IDENTIFIED IN THE CITY OF OVERLAND PARK MINIMUM
 RESIDENTIAL FOUNDATION STANDARDS AND WILL REQUIRE
 SPECIAL CONSIDERATION BY AN ARCHITECT OR ENGINEER
 PRIOR TO ISSUANCE OF A BUILDING PERMIT.



NOTE:
 "AS-BUILT" GRADING PLANS MUST BE
 SUBMITTED PRIOR TO ISSUANCE OF BUILDING PERMITS.



GRADING PLAN
 MISSION RANCH SOUTH, FIRST PLAT
 OVERLAND PARK, KANSAS

PROJECT NO.	DATE	BY	APP.	REVISIONS
171140	1/7/20	MAM	JIT	1. REVISED PER CITY COMMENTS
171140	1/7/20	DDS	MAM	2. REVISED PER CITY COMMENTS
171140	1/7/20	DDS	MAM	3. REVISED GRADING

SHEET

4

OF 42

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