

CITY OF OVERLAND PARK PLANNING AND DEVELOPMENT SERVICES

INTRACITY COMMUNICATION

December 19, 2019

Rhonda Clark – SPS

**SUBDIVISION NAME – WATERSEDGE 8TH PLAT
PIP2018-00016**

NOTE: *Building Permits will not be issued until the applicant produces a Sanitary Sewer Connection Permit from Johnson County Wastewater.*

NOTE: *Lot 202 is on hold until a revised as-built plan showing spillway elevations, revised ROW elevation at Station 170+50, and dam certification are provided and approved. This hold has been removed 2-17-2020*

SWALE GRADING

The following lots include, or are adjacent to engineered swales designed for purposes of stormwater conveyance. An engineered plot plan is required for these lots in conformance with City requirements.

Minimum Low Openings must be a minimum of 1 foot above the 100-year storm energy grade line as measured perpendicular to the swale.

<u>LOT</u>	<u>SWALE</u>	<u>EGL DEPTH (FEET)</u>
194	G-G	0.36
195	G-G	0.36
200	F-F	1.08
201	F-F	1.08
202	F-F	1.08
206	D-D	0.85
207	C-C	0.88
208	C-C	0.88
209	C-C	0.88
210	B-B	0.83
211	B-B	0.83
212	B-B	0.83
213	B-B	0.83
223	A-A	0.61
224	A-A	0.61

225	A-A	0.61
226	A-A	0.61

BERM GRADING

The following lots include berms designed to direct stormwater runoff. An engineered plot plan is required for these lots that show preserving or constructing berms as shown on the subdivision as-built grading plan.

LOT

203
206
209
211
214
223

MLO SET BY ENGINEER

The following lots are adjacent to large open stormwater conveyances which require freeboard for all building openings and tops of foundation walls. An engineered plot plan is required for these lots which show the minimum low opening established on the subdivision as-built grading plan and actual proposed building openings and top of foundation wall elevations.

LOT

MLO (All Building Openings)

194	894.2
195	894.2
196	894.2
203	906.1 (weir)

LOT GRADING

The following lots require specific grading to ensure proper drainage paths between lots. An engineered plot plan is required for these lots which show the drainage paths based upon grading specified by the Engineer.

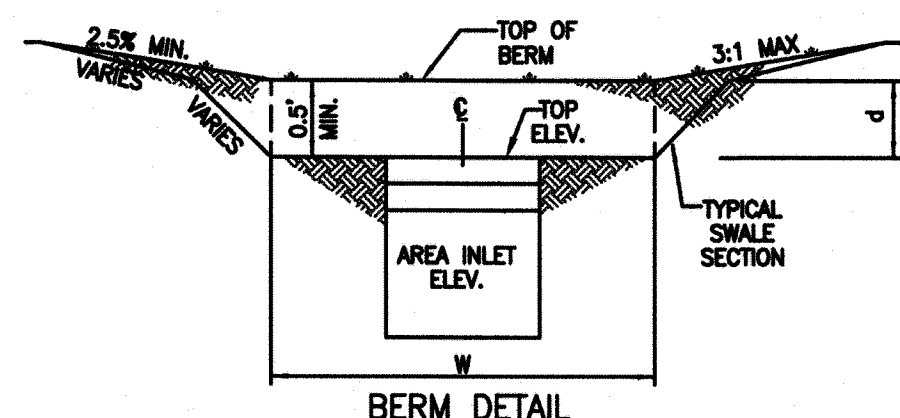
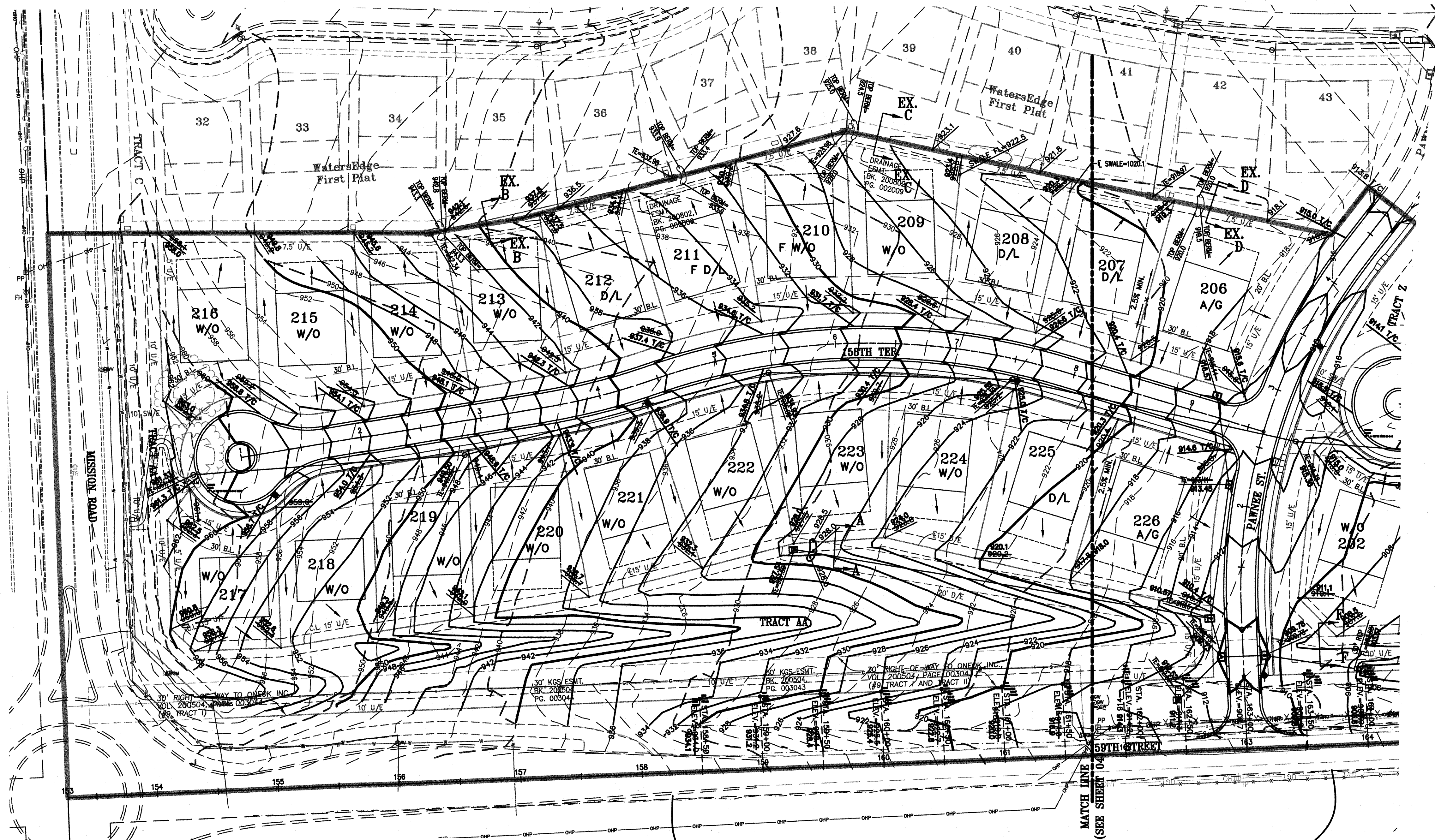
Lot

197
198
203
204
206
207
225
226

If you have any questions, please contact me.

Stephanie Byard
Planning Technician II

c: Tim Tucker, Phelps Engineering - Design Engineer
Tony Meyers, P.E - Engineering Services Review Engineer
Brandon Melius, Inspector
Watersedge Development, LLC - Developer
Jeff Hunt, Public Works Maintenance
Irina Idelson, Public Works Senior Engineering Technician
Permit Services
Subdivision Flood File
City website



FLOOD NOTE:
A PORTION OF THIS PROPERTY LIES WITHIN ZONE AE, DEFINED AS SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD.

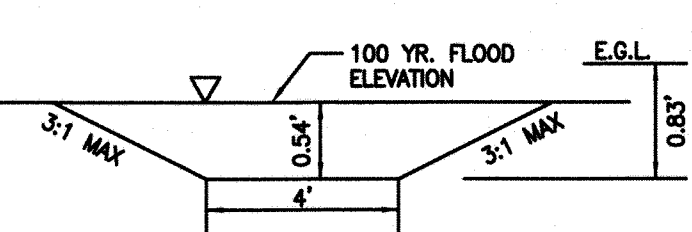
THE REMAINDER OF THE PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF OVERLAND PARK, COMMUNITY NO. 200174, JOHNSON COUNTY, KANSAS, MAP NO. 20091C0115G, AND DATED AUGUST 3, 2009.

EARTHWORK COMPUTATIONS BY PHELPS ENGINEERING, INC. ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE VERIFIED BY CONTRACTORS BY THEIR CHOSEN METHOD PRIOR TO PLACING BID. ALL EARTHWORK SHALL BE CONSIDERED UNCLASSIFIED. 15% WAS ADDED INTO RAW EMBANKMENT QUANTITY TO ACCOUNT FOR SHRINKAGE.

RAW EXCAVATION: +29,900 C.Y.
RAW EMBANKMENT (LOOSE): -37,037 C.Y.
STREET PAVEMENT ADJUSTMENT: +1,400 C.Y.
NET (FILL) -8,537 C.Y.

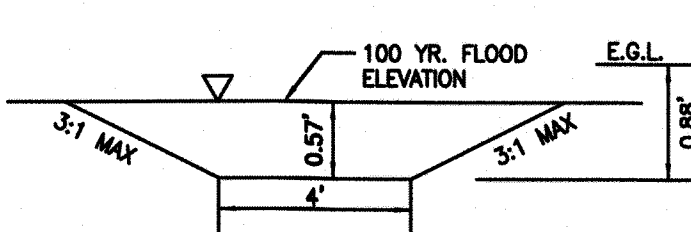
NOTE: CONTRACTOR TO COORDINATE WITH ENGINEER EARTHWORK TO BALANCE SITE.

NOTE: ROCK EXCAVATION SHALL BE CONSIDERED A SUBSIDIARY BID ITEM TO EARTHWORK



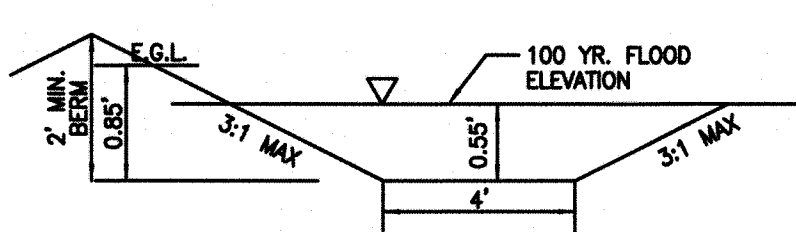
EX. SECTION B-B

Q100 = 16.6 cfs
Q10 = 3.3 cfs
DIFF = 13.3 cfs
S = 2.50% min.
100 YR. DEPTH = 0.54'
V = 4.34 fps
V₂ = 0.29'
29



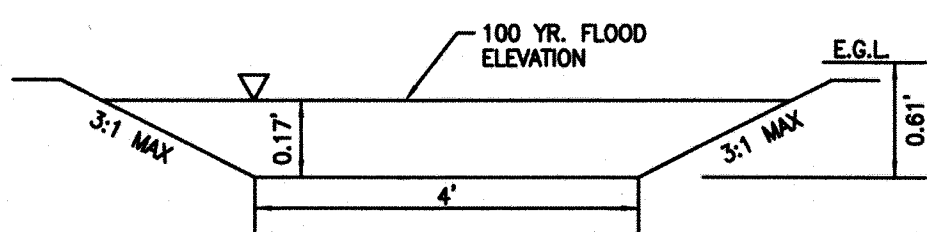
EX. SECTION C-C

Q100 = 14.2 cfs
Q10 = 9.8 cfs
DIFF = 14.7 cfs
S = 2.50% min.
100 YR. DEPTH = 0.57'
V = 4.47 fps
V₂ = 0.31'
29



EX. SECTION D-D

Q100 = 27.4 cfs
Q10 = 13.8 cfs
DIFF = 13.6 cfs
S = 2.50% min.
100 YR. DEPTH = 0.55'
V = 4.37 fps
V₂ = 0.30'
29



SECTION A-A

Q100 = 16.7 cfs
Q10 = 9.1 cfs
DIFF = 7.6 cfs
S = 2.50% min.
100 YR. DEPTH = 0.44'
V = 3.29 fps
V₂ = 0.17'
29

CONSTRUCT SAFE SHOULDER & MATCH FUTURE R/W GRADES, NO PAVEMENT WIDENING REQUIRED.

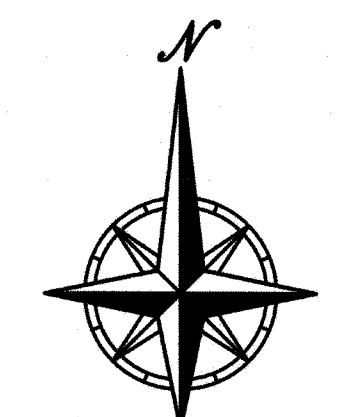
"AS-BUILT"

DATED: 1/29/20 BY: JAZ

FOUNDATION INVESTIGATION REQUIRED:
LOTS DESIGNATED F.I.R. MEET THE CHARACTERISTICS IDENTIFIED IN THE CITY OF OVERLAND PARK MINIMUM RESIDENTIAL FOUNDATION STANDARDS AND WILL REQUIRE SPECIAL CONSIDERATION BY AN ARCHITECT OR ENGINEER PRIOR TO ISSUANCE OF A BUILDING PERMIT.

ENGINEERING SERVICES DIVISION
Planning and Development Services Department
City of Overland Park, Kansas

Date: 2/17/2020
Reviewed By: S-HS
APPROVED: [Signature] REJECTED: [Signature]



SCALE: 1"=50'
0' 50' 100'

LEGEND

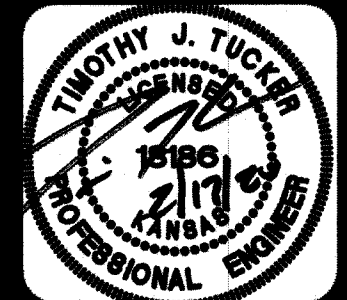
---1078--- FINISHED PROPOSED CONTOUR
---1078--- CONCEPTUAL FUTURE CONTOUR
---1078--- EXISTING CONTOUR

LOT TYPES
A/G AT GRADE FOUNDATION
D/L DAYLIGHT FOUNDATION
W/O WALKOUT FOUNDATION
F W/O FORCED WALKOUT FOUNDATION(BX DRIVE)

NOTE: "AS-BUILT" GRADING PLANS MUST BE SUBMITTED PRIOR TO ISSUANCE OF BUILDING PERMITS.

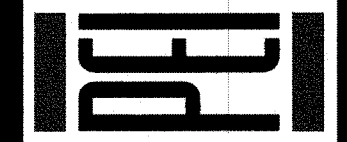


UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES.



PHELPS ENGINEERING, INC.
3270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax: (913) 393-1166
www.phelpsengineering.com

PLANNING
ENGINEERING
IMPLEMENTATION

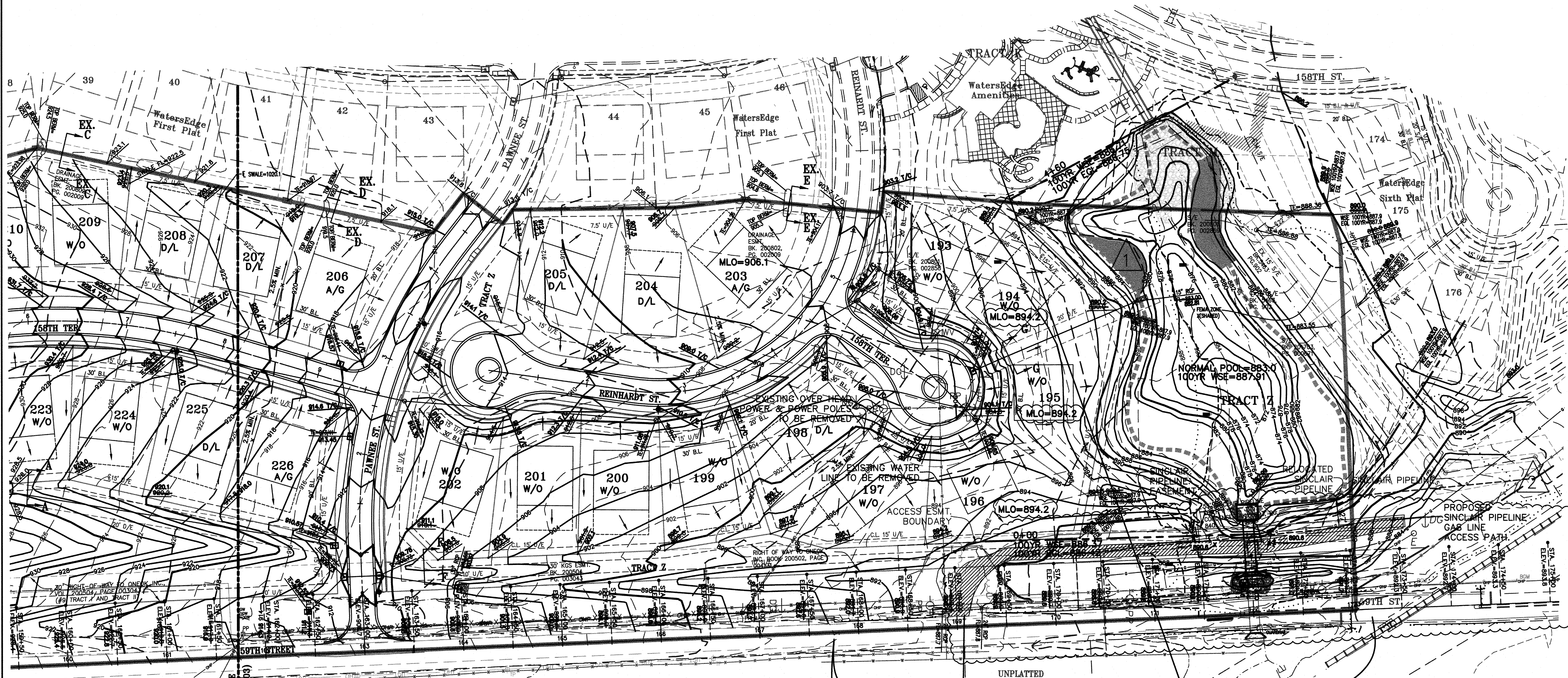


GRADING PLAN
WATSEDEGE, EIGHTH PLAT & Seventh Plat
OVERLAND PARK, KANSAS
PIP2018-00016

PROJECT NO.	180021	No.	1	Date	11/27/18	By	JAZ	App.	TUT
DATE:	11/27/18	1	1	11/27/18					
DRAWN:	JAZ	2	2	3-15-19					
DESIGNED:	JAZ								
CHECKED:	TUT								
APPROVED:	TUT								

SHEET
03
OF 36

FEB 17 2020



MATCH LINE
(SEE SHEET 13)

CONSTRUCT SAFE SHOULDER & MATCH FUTURE R/W GRADES, NO PAVEMENT WIDENING REQUIRED.

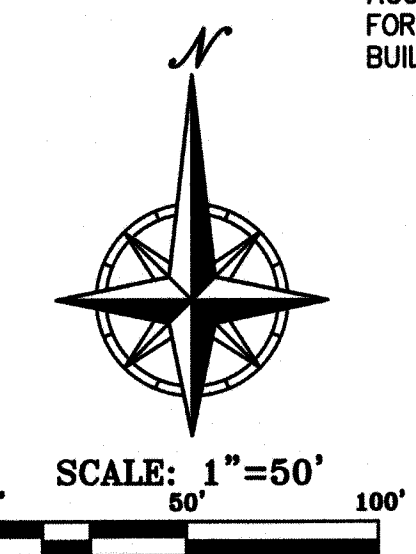
CONTRACTOR TO MAINTAIN THE MAINTENANCE AND ACCESS PATH FOR THE SINCLAIR PIPELINE. REMOVE & REPLACE FENCE AS NECESSARY.

USE IN PLACE EX. GAURD RAIL. NO SAFE SHOULDER REQUIRED. MATCH FUTURE R/W GRADES FROM STA. 168+00 TO STA. 168+50

ACCESS NOTE:
ACCESS EASEMENT FOR SINCLAIR PIPELINE HAS BEEN GRANTED FOR FACILITIES TO BE MAINTAINED AFTER THE SUBDIVISION IS BUILT

"AS-BUILT"

DATED: 1/29/20 BY: JAZ



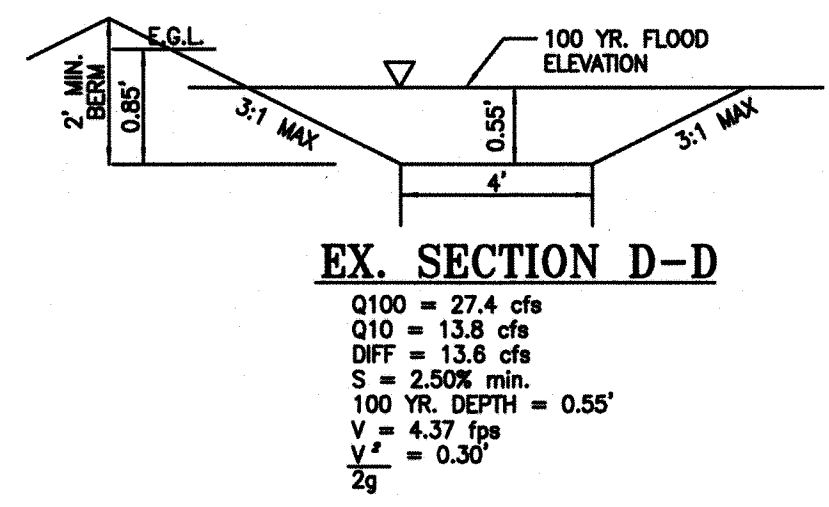
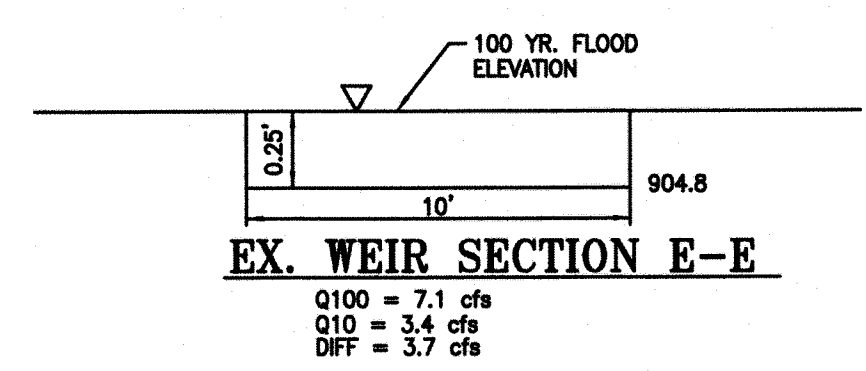
LEGEND

- 1078 — FINISHED PROPOSED CONTOUR
- - - 1078 - CONCEPTUAL FUTURE CONTOUR
- - - 1078 - EXISTING CONTOUR
- TRM
- LOT TYPES
- A/G AT GRADE FOUNDATION
- D/L DAYLIGHT FOUNDATION
- W/O WALKOUT FOUNDATION
- F W/O FORCED WALKOUT FOUNDATION(8% DRIVE)



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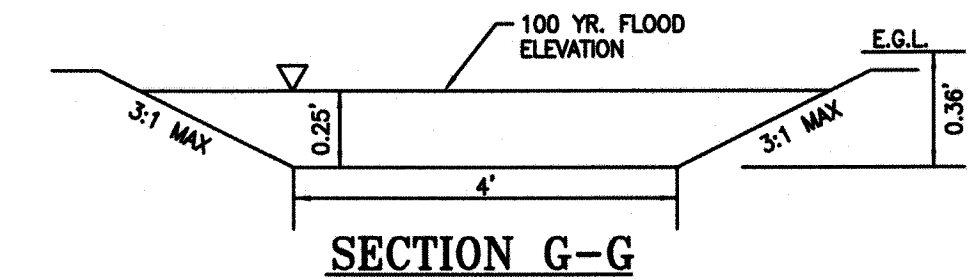
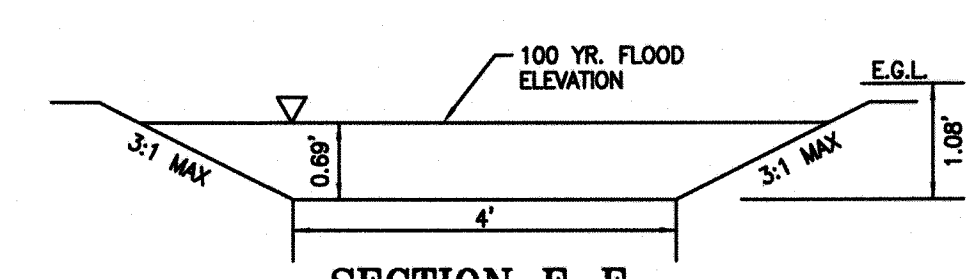
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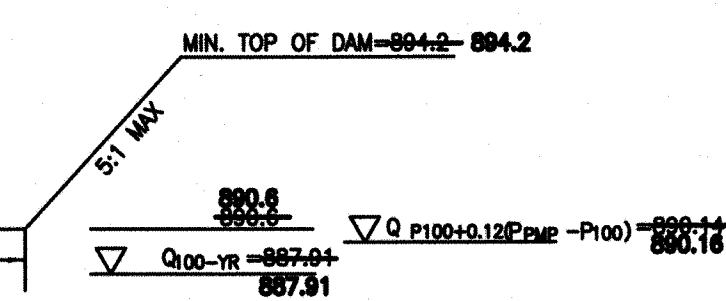
JO. CO. BENCHMARK #367-ELEV.=887.84
2" DOME TOP ALUMINUM MONUMENT, 0.1 MILE EAST OF INTERSECTION OF 159TH STREET AND KENNETH ROAD TO NORTHEAST CORNER OF CONCRETE BRIDGE OVER BLUE RIVER, MONUMENT IN NORTHEAST ABUTMENT OF BRIDGE. VERTICAL DATUM-NAVD88

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EMERGENCY SPILLWAY A-A

Q100 = 794.91 cfs
Qp100+0.12(Pmp-P100)=998.78 cfs
Qp100+0.4(Pmp-P100)=1,975.75 cfs
TR=60 SIGNIFICANT DAM CLASS

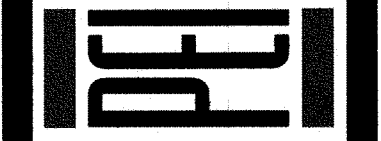


ENGINEERING SERVICES DIVISION
Planning and Development Services Department
City of Overland Park, Kansas
Date: 2/17/2020
Reviewed By: SJS
APPROVED
NOTED
REJECTED



PHILIPS ENGINEERING, INC.
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Olathe, Kansas 66061
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PLANNING
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IMPLEMENTATION



GRADING PLAN
WATEREDGE, EIGHTH PLAT
OVERLAND PARK, KANSAS
PIP2018-00016

By App.	JAZ	TJT
Revisions:		
No.	Date	Description
1	11/27/18	GRADING & STORM LINE 5 REVISED
2	3-15-19	REVISED ACCESS PATH AND GRADING
DRAWN:	JAZ	
DESIGNED:	MAM	
CHECKED:	TJT	
APPROVED:	TJT	