

CITY OF OVERLAND PARK PLANNING AND DEVELOPMENT SERVICES

INTRACITY COMMUNICATION

September 17, 2020

Rhonda Clark – SPS

**SUBDIVISION NAME – TERRYBROOK FARMS 12TH PLAT
PIP2018-00029**

NOTE: *Building Permits will not be issued until the applicant produces a Sanitary Sewer Connection Permit from Johnson County Wastewater.*

NOTE: **Lot 324** will be on hold until all sidewalk ramps have been constructed and have approved as-builts plans.

SWALE GRADING

The following lots include, or are adjacent to engineered swales designed for purposes of stormwater conveyance. An engineered plot plan is required for these lots in conformance with City requirements.

Minimum Low Openings must be a minimum of 1 foot above the 100-year storm energy grade line as measured perpendicular to the swale.

<u>LOT</u>	<u>SWALE</u>	<u>EGL DEPTH (FEET)</u>
313	C-C	0.94
314	C-C	0.94
345	B-B	0.31
346	B-B	0.31
347	B-B	0.31

MLO SET BY ENGINEER

The following lots are adjacent to large open stormwater conveyances which require freeboard for all building openings and tops of foundation walls. An engineered plot plan is required for these lots which show the minimum low opening established on the subdivision as-built grading plan and actual proposed building openings and top of foundation wall elevations.

LOT

MLO (All Building Openings)

323
324

1043.7 (Weir A)
1043.7 (Weir A)

FOUNDATION INVESTIGATION

The following lots are constructed over areas that require special foundation designs to minimize potential for geotechnical related problems. The foundation investigation must be submitted and approved prior to a footing inspection. An Engineered plot plan is NOT required for this condition.

LOT

CONDITION

319

Fill

BERM GRADING

The following lots include berms designed to direct stormwater runoff. An engineered plot plan is required for these lots that show preserving or constructing berms as shown on the subdivision as-built grading plan.

LOT

345
347

LOT GRADING

The following lots require specific grading to ensure proper drainage paths between lots. An engineered plot plan is required for these lots which show the drainage paths based upon grading specified by the Engineer.

Lot

321

322
324
332
333
334
335
336
337
338
344

If you have any questions, please contact me.

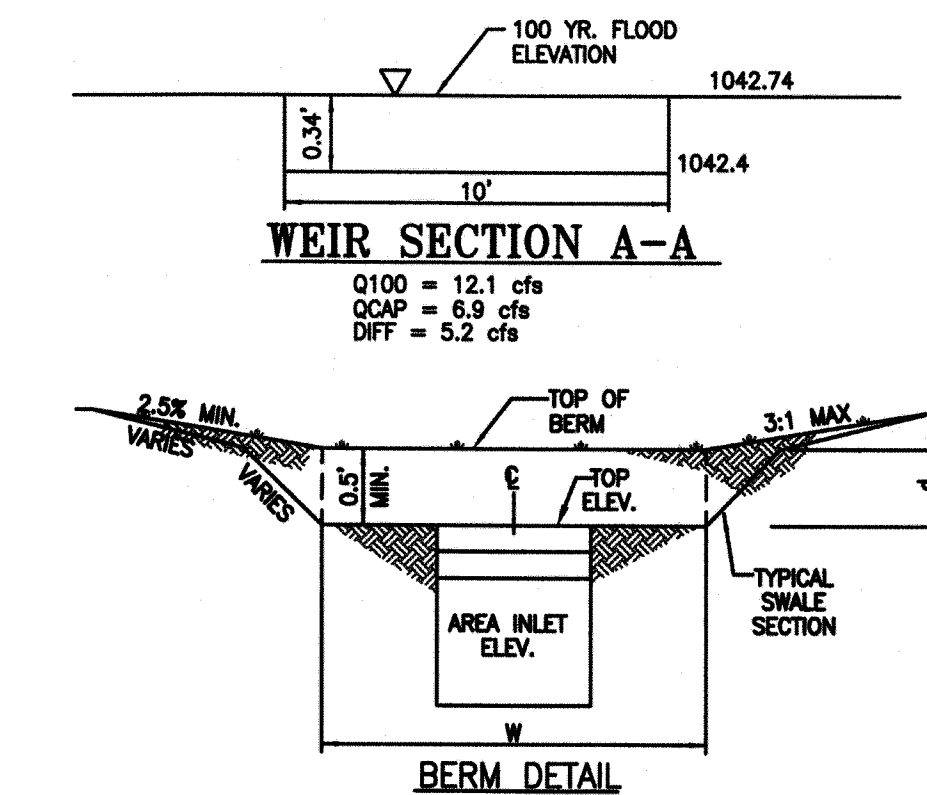
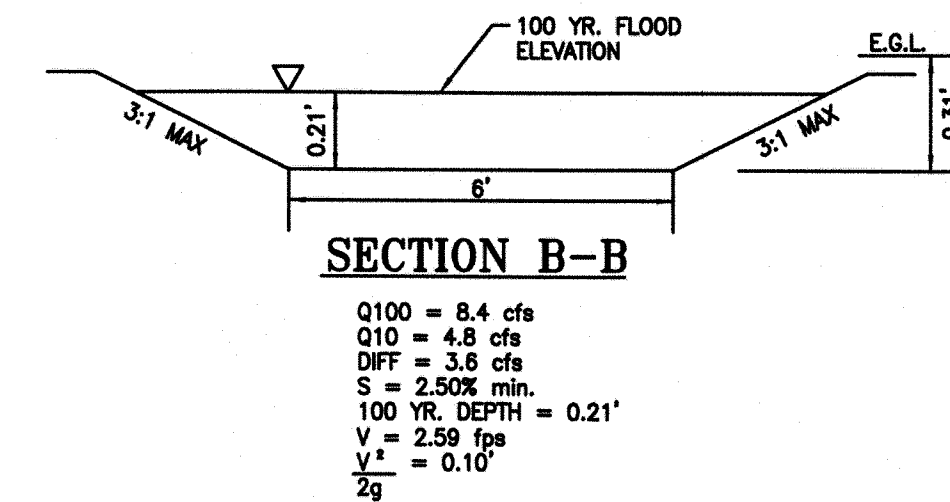


Stephanie Byard, Senior Planning Technician

c: Tim Tucker, P.E. - Phelps Engineering
Anne Hayes, P.E. - Review Engineer
Mark Zarda - Construction Inspector, Sr.
Jeff Hunt - Supervisor, Public Works Maintenance
Irina Idelson, Engineering Technician, Public Works
Permit Services
Steve Campbell, Terrybrook Partners, LLC
City website



FOUNDATION INVESTIGATION REQUIRED:
LOTS DESIGNATED F.I.R. MEET THE CHARACTERISTICS IDENTIFIED IN THE CITY OF OVERLAND PARK MINIMUM RESIDENTIAL FOUNDATION STANDARDS AND WILL REQUIRE SPECIAL CONSIDERATION BY AN ARCHITECT OR ENGINEER PRIOR TO ISSUANCE OF A BUILDING PERMIT.



NOTE:
"AS-BUILT" GRADING PLANS MUST BE SUBMITTED PRIOR TO ISSUANCE OF BUILDING PERMITS.

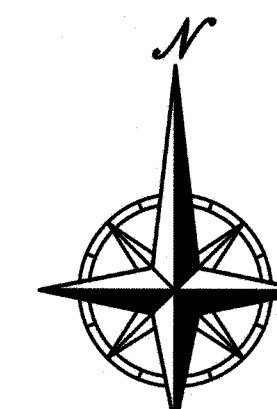
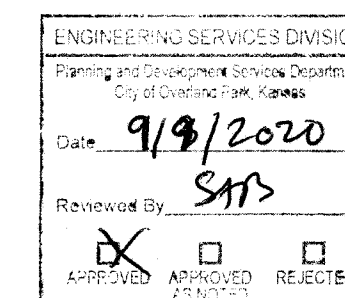
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EARTHWORK COMPUTATIONS BY PHELPS ENGINEERING, INC. ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE VERIFIED BY CONTRACTORS BY THEIR CHOSEN METHOD PRIOR TO PLACING BID. ALL EARTHWORK SHALL BE CONSIDERED UNCLASSIFIED. 15% WAS ADDED INTO RAW EMBANKMENT QUANTITY TO ACCOUNT FOR SHRINKAGE.

RAW EXCAVATION: +19,565 C.Y.
RAW EMBANKMENT (LOOSE): -13,835 C.Y.
STREET PAVEMENT ADJUSTMENT: +1,600 C.Y.
NET (CUT/FILL) +7,330 C.Y.

NOTE: CONTRACTOR TO BALANCE SITE WITH TERRYBROOK FARMS, THIRTEENTH PLAT.

NOTE: ROCK EXCAVATION SHALL BE CONSIDERED A SUBSIDIARY BID ITEM TO EARTHWORK



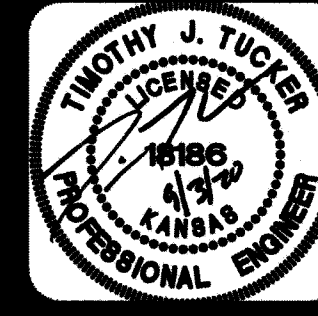
SCALE: 1"=50'

"AS-BUILT"

DATED: 8/25/20 BY: MAM

CONTRACTOR TO MATCH R/W GRADE FROM STA. 76+50 TO 84+00 175TH STREET. CONSTRUCT SAFE SHOULDER PER UNIMPROVED THOROUGHFARE DETAIL, NO PAVEMENT WIDENING REQUIRED.

LEGEND
A/G - AT GRADE
D/L - DAYLIGHT
W/O - WALKOUT
F W/O - FORCED WALKOUT



PHELPS ENGINEERING, INC.
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Olathe, Kansas 66061
(913) 993-1155
Fax: (913) 993-1165
www.phelpsengineering.com

PLANNING
ENGINEERING
IMPLEMENTATION



GRADING PLAN
TERRYBROOK FARMS, TWELFTH PLAT
OVERLAND PARK, KANSAS

PROJECT NO.	180720	No.	Date	Revisions:	By	App.
DATE: 11/07/2019	DRS	1.	1-2-19	REVISED PER CITY COMMENTS	MAM	TUT
DATE: 11/22/2019	DRS	2.	11-22-19	REVISED NUMBER OF LOTS	MAM	TUT
DATE: 1-10-20	DRS	3.	1-10-20	REVISED EROSION CONTROL PER CITY	MAM	TUT
DRAWING NO. 15-46						
DRAWING NO. 15-361						
SCHEDULE RATE OF AUTHORIZATION						
15-46: 10/1/2019 TO 10/1/2020						
15-361: 10/1/2019 TO 10/1/2020						

SHEET
03
OF 38

